

# RESTAURANT MARCHÉ

Offering Memorandum

August 2024

**CONFIDENTIAL**

\$329,000



## RESTAURANT AND BAR

150 Madrone Lane N, Bainbridge Island, WA 98110

*"Creating and running Restaurant Marché has been a dream come true for us; now we can't wait to see someone else's dream come to life here."*

*- Greg and Betsy Atkinson*

**Kelly Muldrow, CCIM**

Windermere Commercial - ERES

249 Winslow Way E, #400, Bainbridge Island, WA 98110

office: 206-842-5626 | cell: 206-949-3420 | Kelly@Muldrow.net

## EXECUTIVE SUMMARY

---

Nestled in the heart of Winslow on Bainbridge Island lies a rare gem—a turnkey restaurant/bar that exudes charm and potential. Established in 2012, Restaurant Marché is a destination for locals and tourists alike.

Patrons are greeted by an atmosphere characterized by its Contemporary French American cuisine. An exhibition kitchen, equipped with a wood-fired grill and three type-1 hoods, provides a glimpse into the craftsmanship behind each dish.



*Designed by Frank Karreman, the dining areas provide spaciousness and intimacy.*

The intimate cocktail lounge is a cozy alternative for guests to unwind with a crafted libation from the full bar. With seating for 48 indoors and an additional 24 outdoors, there is ample space to enjoy the venue's fresh air and ambiance.

This location is perfectly positioned in a hub of mainstay businesses to thrive in a vibrant culinary and local arts ecosystem. Restaurant Marché is surrounded by a diverse array of neighboring restaurants—from the island's iconic Blackbird Bakery and the traditional Pizzeria Bruciato, to the fresh catch at Proper Fish and the Vietnamese flavors of Ba Sa. The well-known "Farmer's Market" sign on the side of the Restaurant Marché building leads people to the adjacent Town Square, home of the Saturday Farmer's Market, the First Friday Arts Walk Moonlight Market, and the newly expanded Buxton Center for Bainbridge Performing Arts.

The restaurant's potential for growth is evident by expanding operating hours and introducing lunch and brunch offerings. The restaurant is currently open four nights a week for dinner.

Extensively remodeled for Restaurant Marché, the property encompasses 2,000 square feet of main restaurant space, accompanied by a 700-square-foot storage area and an optional 700-square-foot office. Current monthly rent, inclusive of NNN charges, is \$7,145—a highly competitive rate for this coveted location. The Landlord is amenable to negotiating a new 5-year lease with an additional 5-year option, ensuring stability and continuity for prospective operators.

This is a rare opportunity for culinary entrepreneurs to step into a well-established venue in a supportive community. With its proven location, versatile layout, and potential for new business, this restaurant can continue to be a cornerstone of Winslow's dining scene for years to come.

### **Kelly Muldrow, CCIM**

Windermere Commercial - ERES  
249 Winslow Way E, #400, Bainbridge Island, WA 98110  
office: 206-842-5626 | cell: 206-949-3420 | Kelly@Muldrow.net

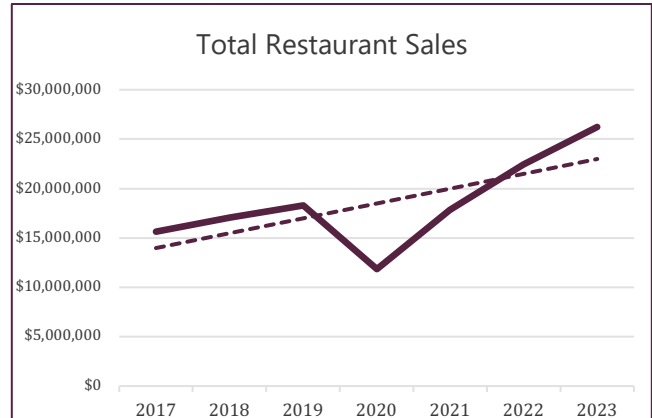
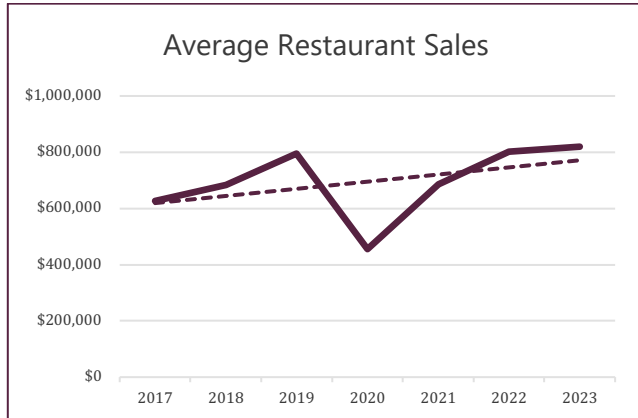
## MARKET ANALYSIS

Customers now spend more in local restaurants than in pre-Covid times, underscoring a resurgence that aligns with strong growth trends.

An analysis of quarterly B&O Tax data, spanning from 2017 through the third quarter of 2023, shows financial resilience and growth of the restaurant industry on Bainbridge Island. The data illuminates not only a robust recovery from the downturn caused by the Covid-19 pandemic, but also a remarkable ascension, with current restaurant sales eclipsing those recorded prior to the pandemic.

Reliable sales projections can be made by referencing pre-pandemic figures.

Detailed B&O Tax data supporting this analysis is available upon request.



### BAINBRIDGE ISLAND INCOME DATA, (Source: esri, 2023-10-17)

Households 2023 ..... 10,371

Average Household Income 2023..... \$210,914

Median Household Income 2023 ..... \$154,033

#### Kelly Muldrow, CCIM

Windermere Commercial - ERES  
249 Winslow Way E, #400, Bainbridge Island, WA 98110  
office: 206-842-5626 | cell: 206-949-3420 | Kelly@Muldrow.net

## EQUIPMENT LIST

---

The Seller's estimate of the current fair market value for the restaurant kitchen equipment and furnishings--showcasing minor wear and tear but fully functional--is \$130,000. Buyer to verify. A smallware inventory is available upon request, estimated to be approximately \$12,500.

### Hoods

- 1 ea 5-foot Greenheck High-Powered Hood for Wood-Fired Broiler
- 1 ea 12-foot Greenheck Hood
- 1 ea 3-foot Greenheck Dishwasher Hood

### Refrigeration

- Premiere 3-Door Upright Refrigerator
- Premiere Single-Door Upright Freezer
- 1 ea Turbo Air 36-inch Undercounter Freezer
- 1 ea Turbo Air 72-inch 2-Door Undercounter Refrigerator
- 1 ea True 72-inch 2-Door Undercounter Refrigerator
- 1 ea True 72-inch 2-Door Undercounter Glass Door Bar Refrigerator
- 2 ea Turbo Air Single-Door Upright Refrigerators



*Zinc countertops are traditionally used in oyster bars and French tabacs.*

### Equipment

- 1 ea Rational Combi Oven and Stand on wheels.
- 1 ea 44-inch Mt. St. Helens Woodstove Wood Burning Grill on wheels
- Custom Stainless Steel Ash Collector on wheels
- 1 ea Vulcan 6-Burner Range
- 1 ea American Range Salamander
- 1 ea Frymaster 50-Gallon Fryer
- 2-Burner Stockpot Range
- 1 ea Hobart 30-Quart Mixer
- 1 ea Breville Ice Cream Maker
- 1 ea Breville Countertop Griddle/Panini Press
- 1 ea Breville Belgian Waffle Maker
- 1 ea Breville Countertop Fryer
- 1 ea Robot Coupe Food Processor
- 1 ea Kitchen Aide Upright Mixer
- 1 ea Vitamix Blender
- 1 Fetco Coffee Maker

### **Kelly Muldrow, CCIM**

Windermere Commercial - ERES  
249 Winslow Way E, #400, Bainbridge Island, WA 98110  
office: 206-842-5626 | cell: 206-949-3420 | Kelly@Muldrow.net

- CMA Undercounter Dishwasher
- 3 ea Bar Sinks with Drainboard
- CMA 180 Dishwasher with Custom Stainless Counter
- Triple Stainless Steel Dish Sink with Wraparound Stainless Steel Shelving
- 1 ea 36-inch Stainless Steel Prep Sink
- 1 ea Speed Rack
- 1 ea 10-foot Boos Steel and Hardwood Prep Table
- 1 ea 8-foot Boos Steel and Hardwood Prep Table
- 1 ea 84-inch Boos Steel and Hardwood Prep Table
- Sound System with Receiver and Speakers

### **Custom Furnishings**

- Custom 12-foot Zinc Top Hardwood Kitchen Counter for Bar Stool Seating
- High back wooden barstools, with covered seats
- Custom Hardwood Back Bar
- Custom 18-foot Zinc Top Hardwood Bar
- 20 ea Steel base live-edge Hardwood-top Tables
- 24 ea Hardwood Chairs with new upholstery
- 2 ea 32-inch Wait Stations with Soapstone Tops and Custom Wine Racks above
- 1 ea 48-inch Host Stand with Soapstone Top
- 1 ea 8.5-foot x 7-foot Wine Rack with Undercounter Cupboards
- 1 ea 16-foot Lighted Display Case with Undercounter Cupboards
- Upholstered Banquette Seating
- Rejuvenation Hardware Lighting throughout
- 12 ea Maple-Framed Vegetable Art Prints
- 4 ea Framed Vintage French Posters
- Black Metal Classic Paris Park Outdoor Patio Furniture, 4-person rounds with chairs

### **Kelly Muldrow, CCIM**

Windermere Commercial - ERES

249 Winslow Way E, #400, Bainbridge Island, WA 98110

office: 206-842-5626 | cell: 206-949-3420 | Kelly@Muldrow.net



## LEASE TERMS

---

The Landlord has agreed to the following terms, subject to Buyer’s credit and experience.

Restaurant Premises

*Linda Brandt, Landlord*

Restaurant .....	1,500 sf	
Dry Storage/Larder .....	700 sf	\$7,145/month
Office (optional) .....	700 sf	

Address: ..... 150 Madrone Lane N, Bainbridge Island, WA

Escalations: ..... 3.5% per year

Lease Type: .....Gross Lease

CAMS/NNN ExpensesIncluded in Gross Rates

ElectricityTenant, approximately appx \$475/month

WaterTenant, approximately appx \$500/month

Garbage .....Landlord

Real Estate Taxes .....Landlord

Lease Term.....60 Months, with Options to Extend

Security Deposit Amount.....\$0.00

Storage.

*Joseph Lacko, Landlord*

Woodshed.....	~120 sf	\$100/month
---------------	---------	-------------

## TRANSACTION DETAILS

---

Seller agrees to the following terms:

Price:.....\$329,000

Earnest Money ..... \$16,000

Due Diligence Period:.....45 days

Seller Financing.....Optional, with 75% down, paid in full on 13<sup>th</sup> month

Seller will work collaboratively with Buyer during escrow to insure a smooth public-facing transition.

**Kelly Muldrow, CCIM**

Windermere Commercial - ERES

249 Winslow Way E, #400, Bainbridge Island, WA 98110

office: 206-842-5626 | cell: 206-949-3420 | Kelly@Muldrow.net

**GENERAL NOTES:**

- CONSTRUCTION TO PROTECT EXISTING AND NEW WALLS, PARTITION WALLS, CEILING, FLOORS AND ACCESSORIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL GATES AND DOORS TO BE INSTALLED TO PROVIDE EQUAL ACCESS TO ALL AREAS OF THE PROJECT.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

**KEYED NOTES:**

- RETURN DOOR JAMB'S FROM SILENT WALL.
- EXCEPT WHERE NOTED.
- POWER OVERHEAD CABLES - APPROX. 6" ABOVE CEILING.
- HOT WATER TRUNK ABOVE. SEE A7.3.
- SOAK OFFSEPERATOR - APPROX. 6" ON CEILING.
- PROVIDE 3" x 2" WOODEN PANEL WITH EQUIPPED BROOMING NETWORK EQUIPMENT.
- OUTLINE OF SCOFF ABOVE. SEE (C) PROPERTY A1.
- OUTLINE OF OVER DRIPPED SCOFF ABOVE @ 1/2" W/ F.F.
- OUTLINE OF OVER DRIPPED SCOFF ABOVE @ 1/2" W/ F.F.
- CORNER PANEL BY CASEWORKER. SILE.
- STORAGE SHELVES ABOVE.
- SECONDARY PANELS TO 1/2" W/ F.F. PROVIDE 1/2" PAINTED OVER OWNER SUPPLIED EQUIPMENT.
- OWNER SUPPLIED EQUIPMENT.
- ONE HUNDRED (100) SQUARE FEET OF COUNTER TOPS TO BE INSTALLED IN THE SERVICE HALL.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- NEW FLOOR SHALL WITH APPROPRIATE SLOPE TO DRAIN TO SINKS AND DRAINAGE SYSTEMS.
- WALLS TO BE FINISHED WITH ADVANCE FABRIC. WHERE APPLICABLE. REST ROOM FINISHES. SEE A4.

**MEP NOTES:**

- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.
- CONTRACTOR TO VERIFY WITH ELECTRICAL PANEL HAS APPROXIMATE APPROX. AND HIGHER CAPACITY.

**WALL KEY:**

SYMBOL	DESCRIPTION	DETAIL
1	PARTITION WALL	1A/2.0
2	PARTITION WALL, INSULATED	2A/2.0
3	PARTIAL HEIGHT WALL	3A/2.0
4	NEW EXTENSION WALL	4A/2.0
5	NEW EXTENSION WALL ONE HOUR RATED	4A/2.0
6	NEW EXTENSION WALL	5A/2.0
7	NEW EXTENSION WALL ONE HOUR RATED	5A/2.0
8	EXISTING CHANGEL WALL ONE LAYER OF LAMINATED WOOD	7A/2.0
9	EXISTING WALL TO REMAIN	
10	EXISTING WALL TO REMAIN PATCH AS REQUIRED	

**DOOR SCHEDULE:**

MARK SIZE	DOOR	ROOM	FRAME TYPE	FRAME FINISH	FINISH	REMARKS
D10	DOOR	STORAGE	F1	PAINTED	PAINTED	NEW ACCESSIBLE HARDWARE
D11	3'-0" x 7'-0" x 8'-0"		D1	PAINTED	PAINTED	NEW ACCESSIBLE HARDWARE
D12	3'-0" x 7'-0" x 8'-0"		D1	PAINTED	PAINTED	NEW ACCESSIBLE HARDWARE
D13	3'-0" x 7'-0" x 8'-0"		D1	PAINTED	PAINTED	NEW ACCESSIBLE HARDWARE
D14	3'-0" x 7'-0" x 8'-0"		D1	PAINTED	PAINTED	NEW ACCESSIBLE HARDWARE

**DOOR HARDWARE GROUPS:**

**DOOR FRAMES**

**DOOR TYPES**

**HARDWARE TYPES**

- (1) 1/2" RAIL BEARING HANDLE LOCKS, LATCHES AND KEYS SHALL BE PROVIDED FOR ALL DOORS TO BE ACCESSIBLE. THE HANDLE SHALL BE 1/2" DIA. AND THE LATCH SHALL BE 1/2" DIA. THE HANDLE SHALL BE 1/2" DIA. AND THE LATCH SHALL BE 1/2" DIA.
- (2) 1/2" RAIL BEARING HANDLE LOCKS, LATCHES AND KEYS SHALL BE PROVIDED FOR ALL DOORS TO BE ACCESSIBLE. THE HANDLE SHALL BE 1/2" DIA. AND THE LATCH SHALL BE 1/2" DIA.

**WINDOW SCHEDULE:**

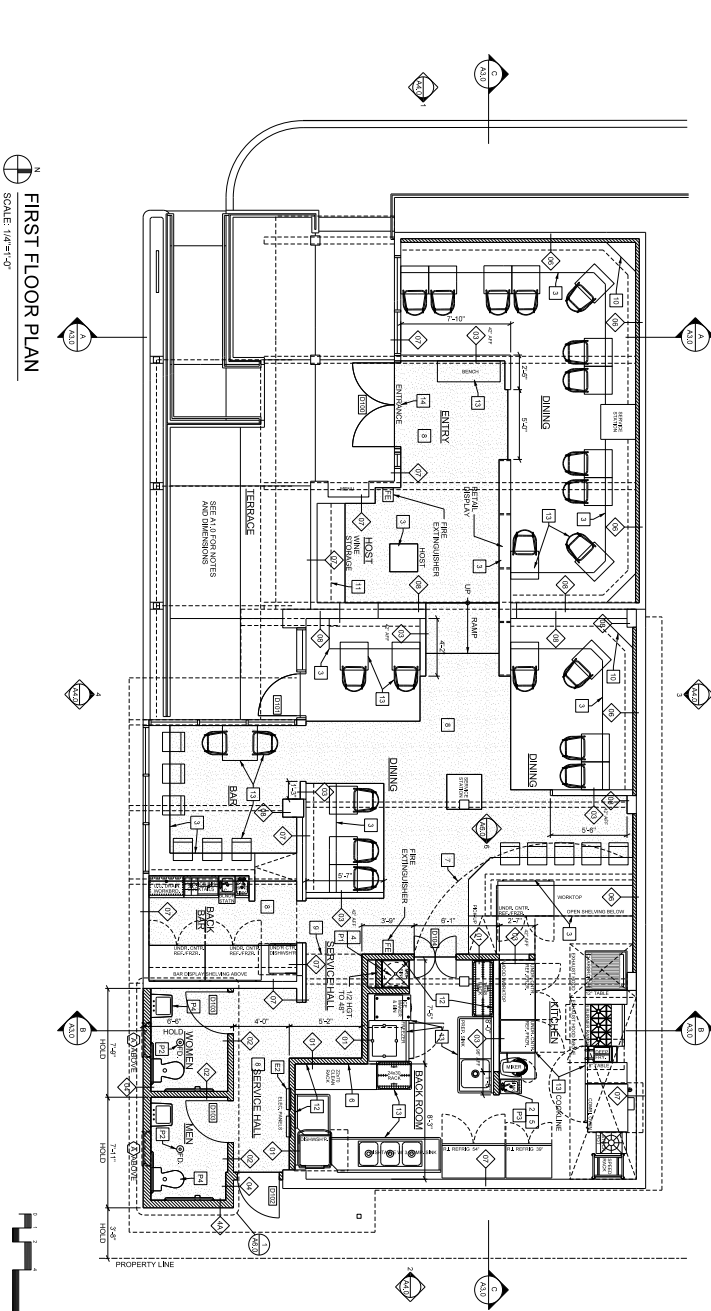
MARK	MANUFACTURER	TYPE	REMARKS
W1	ALUMINUM CLAD	1/2" x 4'-0"	MIN. U VALUE
W2	ALUMINUM CLAD	2'-0" x 4'-0"	MIN. U VALUE
W3	ALUMINUM CLAD	4'-0" x 2'-0"	MIN. U VALUE
W4	ALUMINUM CLAD	4'-0" x 2'-0"	MIN. U VALUE

**WALL LEGEND**

NEW WALL  
EXISTING WALL  
EXISTING WALL TO REMAIN

**FINISH SCHEDULE:**

#	FINISH	MANUFACTURER	TYPE	REMARKS
F1	PAINT	TBD	TBD	
F2	PAINT	TBD	TBD	
F3	PAINT	TBD	TBD	
F4	PAINT	TBD	TBD	
F5	FLOOR FINISH	TBD	TBD	
F6	PLASTER/LAMINATE	TBD	TBD	
F7	CASEWORK	TBD	TBD	
F8	METAL	TBD	TBD	
F9	STONE	TBD	TBD	
F10	RUBBER BASE	TBD	TBD	



**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
ISSUE DATE: 06/07/11

REVISIONS:

**Restaurant MARCHÉ Bainbridge**  
150 MADRONE LANE  
BAINBRIDGE ISLAND, WA 98110

**A2.0**

# RESTAURANT MARCHÉ SMALLWARE INVENTORY

---

## Stainless Steel Hotel Pans

5 each 4-inch-deep perforated steamers  
3 each 2-inch-deep perforated steamers  
3 each full size 6-inch deep  
8 each full size 4-inch deep  
8 each full size 2-inch deep  
6 each half size 4-inch deep  
6 each half size 2-inch deep  
9 third pans 6-inch  
12 third pans 4-inches deep  
6 third pans 2 inches deep  
9 each Sixth pans  
6 each Ninth pans

## Heavy duty Stainless Steel Cookware

1 each 20 quart stockpot  
2 each 12-quart stockpots  
1 each 8-quart stockpot  
1 each 6-quart stockpot  
2 each large 10-inch saucepans  
2 each small 6 cup saucepans  
2 each large 10-inch sauté/fry pans  
2 each small 6 cup sauté/fry pans

## Carbon Steel Sauté Pans

24 each ranging in size from 6-inch to 12-inch

## Cast Iron ware

2-each seasoned 10-inch skillets  
12 each seasoned oval sizzle platters  
1 sauté pan with grill mark makers

## Small wares

Approximately 100 pieces including but not limited to:

Stainless steel Ladles in various sizes  
Stainless steel tongs in various sizes  
Silicone spatulas-inch  
Wire whisks  
Measuring spoons  
Measuring cups  
Stainless spoons  
Stainless cylinders  
Grill scrapers



Bench scrapers  
Dough cutters  
Serving spoons  
Wooden and plastic Cutting boards  
Plus Dozens of Cambro brand containers in various sizes with lids

Bar ware  
Complete bar-keeping set of  
testers  
strainers  
Shakers  
Stirrers  
Citrus juicer  
Garnish holders  
Bar mats  
Non skid trays

Glassware  
50 Spiegelau White wine glasses  
18 Spiegelau Red wine glasses  
24 champagne flutes  
36 12-ounce beer/soda glasses  
60 8-ounce water glasses  
12 1liter Carafes  
12 Water bottles  
24 brandy snifters

Oneida Stainless steel Flatware  
Service for sixty -plus  
Dinner knives  
Tablespoons  
Teaspoons  
Dinner forks  
Salad/dessert forks  
Also:  
24 Laguile steak knives  
48 fondu forks  
24 cocktail/oyster forks

Vintage American-made Buffalo China Dishes  
36 14-inch ovals  
52 12- inch plates  
36 10-inch soup plates  
52 6-inch rounds  
100+ 4-inch rounds  
48 Saucers

48 Coffee cups  
24 Soup cups

Vintage American-made Hall China Dishes  
6- ounce #391 crème brûlée bowls  
4- ounce pâté dishes  
12 Teapots  
12 #301 crocks

Other dishes including:

50 each vintage glass salad plates  
12 lions head (French onion soup) bowls  
48 butter crocks  
12 sugar bowls  
12 Creamers  
12 Side-dishes



**Confidentiality Agreement Between \_\_\_\_\_ (Buyers)  
and Greg & Betsy Atkinson**

**Regarding Restaurant Marché (hereafter known as “the Business”).**

**Located at 150 Madrone Ln N, Bainbridge Island, Washington**

This Confidentiality Agreement (“Agreement”) is signed and dated by the parties named below for the purpose of preventing unauthorized disclosure of certain confidential and proprietary information (Confidential Information) whether provided in writing or orally.

**Confidential Information.** For purposes of this Agreement, “Confidential Information” means information or material in the following categories that is not generally known to persons outside the Business.

- a. **The Business’s Products and Services:** Means all information about the Business’s products and services which is not made available to the public, including, but not limited to: ideas, information, know-how, drawings and designs, trade secrets, customer lists, discoveries or improvements, marketing concepts, business plans, computer programs, financial data and other confidential information;
- b. **Customers, Vendors and Licensors:** Means names and other information about customers, vendors and licensors of the Business;
- c. **Acquired Information:** Means information obtained by the Business from customers or licensors that is not made generally available to the public; and
- d. **Documents:** Means all information contained in any documents delivered to Buyers, whether or not such documents are marked “confidential,” “proprietary,” or with similar notices.
- e. **Ownership and Return of Materials:** Means all notes, data, reference materials, sketches, drawings, memoranda, documentation, records and other material in any way incorporating or reflecting Confidential Information will belong exclusively to the Business or its customers or licensors. Buyers agrees to turn over all copies (whether electronic or otherwise) of such materials in Buyers’s control to the Business upon request or termination of Buyers’s business relationship with the parties to this agreement.
- f. **Promise of Nondisclosure and Nonuse:** Means Buyers agrees to hold in confidence and not directly or indirectly reveal, report, publish, disclose, or transfer any of the Confidential Information to any person or entity, or use any of the Confidential Information for any purpose, including but not limited to use in Buyers’s own business, except in the course of his business relationship with the Business.



This letter agreement shall be governed by, and construed in accordance with, the laws of the State of Washington.

Please confirm agreement with the foregoing by signing below, whereupon this letter agreement shall become a binding agreement.

Accepted and Agreed to:

\_\_\_\_\_

Kelly Muldrow  
Windermere Commercial- ERES

Date: \_\_\_\_\_

**Buyer: X** \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

**Buyer: X** \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

**Seller: X** \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

**Seller: X** \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_