



5119 S 151<sup>st</sup> St  
Tukwila



**CITY  
CLOSERS**

REAL ESTATE  
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# AFFILIATED BUSINESS DISCLOSURE AND CONFIDENTIALITY AGREEMENT

This Non-Disclosure Agreement is entered into on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by and between Pacific Northwest Regional Council of Carpenters, Seller and Kelsey Diller of City Closers Real Estate ("Disclosing Party") and \_\_\_\_\_ SELLING BROKER and his client/buyer ("Recipient"). Disclosing Party is prepared to furnish Confidential information to Recipient in connection with discussions and negotiations concerning a Commercial Property for sale ONLY on the condition that Recipient agrees to treat the disclosed information Confidential Information as provided herein. Therefore, in consideration of the foregoing, and the mutual covenants, terms and conditions hereinafter expressed, Disclosing Party and Recipient agree as follows:

**1. Confidential Information:** Buyer and Selling Broker shall not disclose address or name of business or that they are considering selling the building(s) or Land. Confidential Information additionally, shall mean any information that is not publicly available and relates to Disclosing Party's: (1) business policies and practices; (2) proprietary business information, including without limitation, financial condition, organization and/or employee data and costs; (3) information received from others that Disclosing Party is obligated to treat as confidential or proprietary; (4) any studies, reports, investigations, or due diligence findings resulting from an inspection the Commercial Property; and (5) any other information that the Disclosing Party deems to be confidential or proprietary. Confidential Information in any tangible medium may be marked "Confidential". Confidential Information shall also include other non-public information that reasonable ought to be deemed confidential given the circumstances of disclosure.

**2. Restrictions:** Recipient shall not use or disclose or reveal Disclosing Party as the source or owner of the Confidential Information to third parties. Recipient shall take reasonable security precautions to prevent disclosure of Confidential Information. Recipient may have a professional such as an attorney or CPA review the confidential documents.

**3. Miscellaneous:** Recipient shall return all Confidential Information provided by Disclosing Party upon request. Recipient's obligations under this Agreement shall continue indefinitely from the date hereof. Breach of this Non-Disclosure Agreement will entitle the Disclosing Party to seek any and all remedies available at law or in equity to which it may be entitled, including damages and injunctive relief. This Agreement shall be governed and construed in accordance with the laws of the State of WA.

Regarding: one commercial property located in Tukwila, WA. Do not disturb Seller or Seller's employees. Drive by or walk by property.

AGREED:

Recipient:

Disclosing Party:

\_\_\_\_\_

\_\_\_\_\_

EXCLUSIVELY OFFERED BY:

Kelsey Diller  
Owner and Designated Broker  
City Closers Real Estate

+1 (206) 915-6028  
Kelsey@CityClosers.com

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Des Moines, WA 98198

[www.CityClosers.com](http://www.CityClosers.com)

We Listen. We Solve. We Close.

*Information from reliable sources but  
buyer should verify all information to  
their own satisfaction.*

*Kelsey Diller is a Licensed Real Estate  
Broker in the State of Washington and  
the Owner and Designated Broker  
of City Closers, LLC. DBA City Closers  
Commercial Real Estate.*

# 5119 S 151<sup>st</sup> St Tukwila

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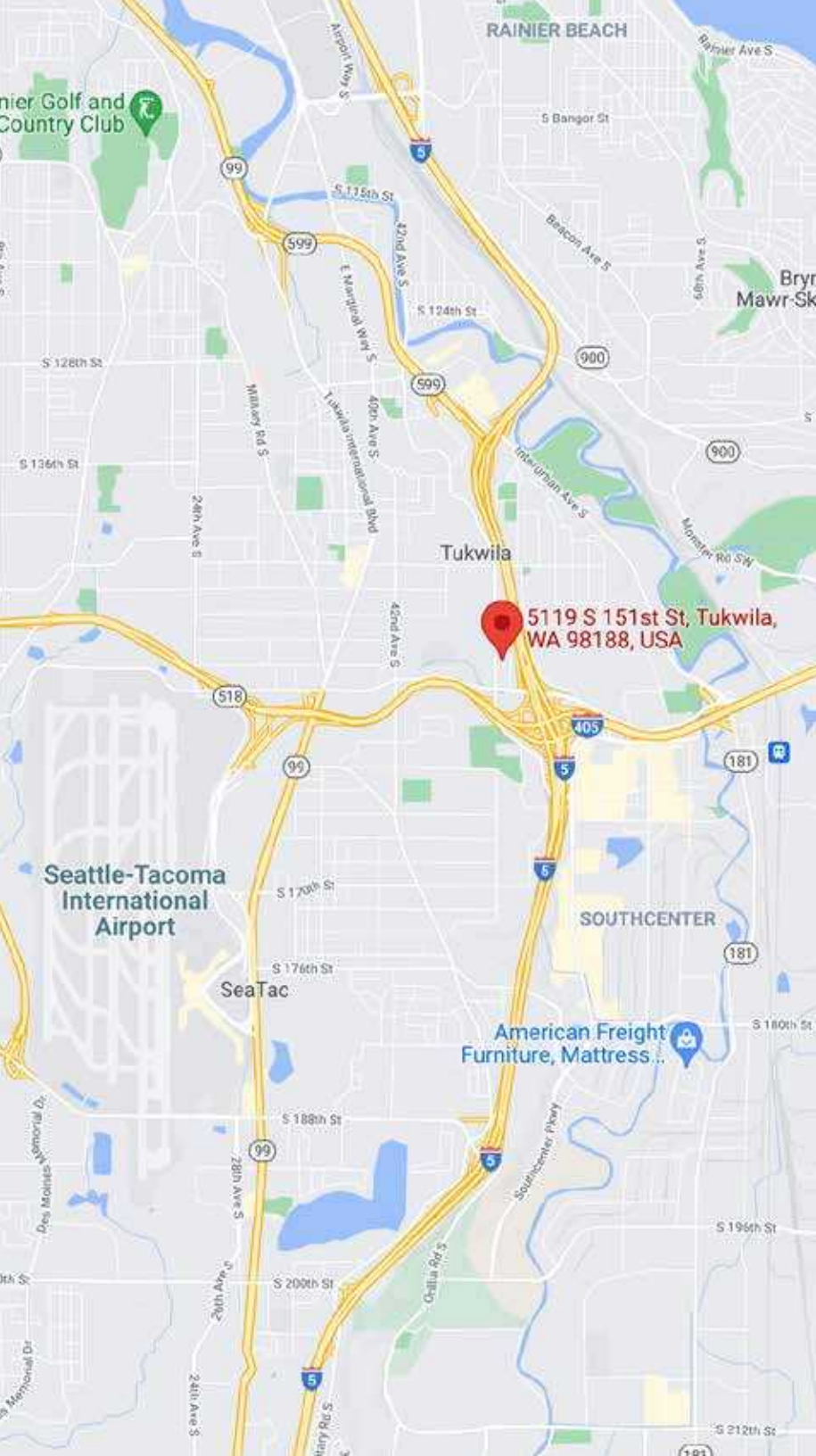
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A green-tinted photograph of a train on an elevated track. The train is white with dark windows and is moving from left to right. In the foreground, there are several houses with dark roofs and a fence. There are trees and bushes around the houses. The sky is overcast. The text "EXECUTIVE SUMMARY" is overlaid in white, sans-serif font in the center-right of the image.

# EXECUTIVE SUMMARY

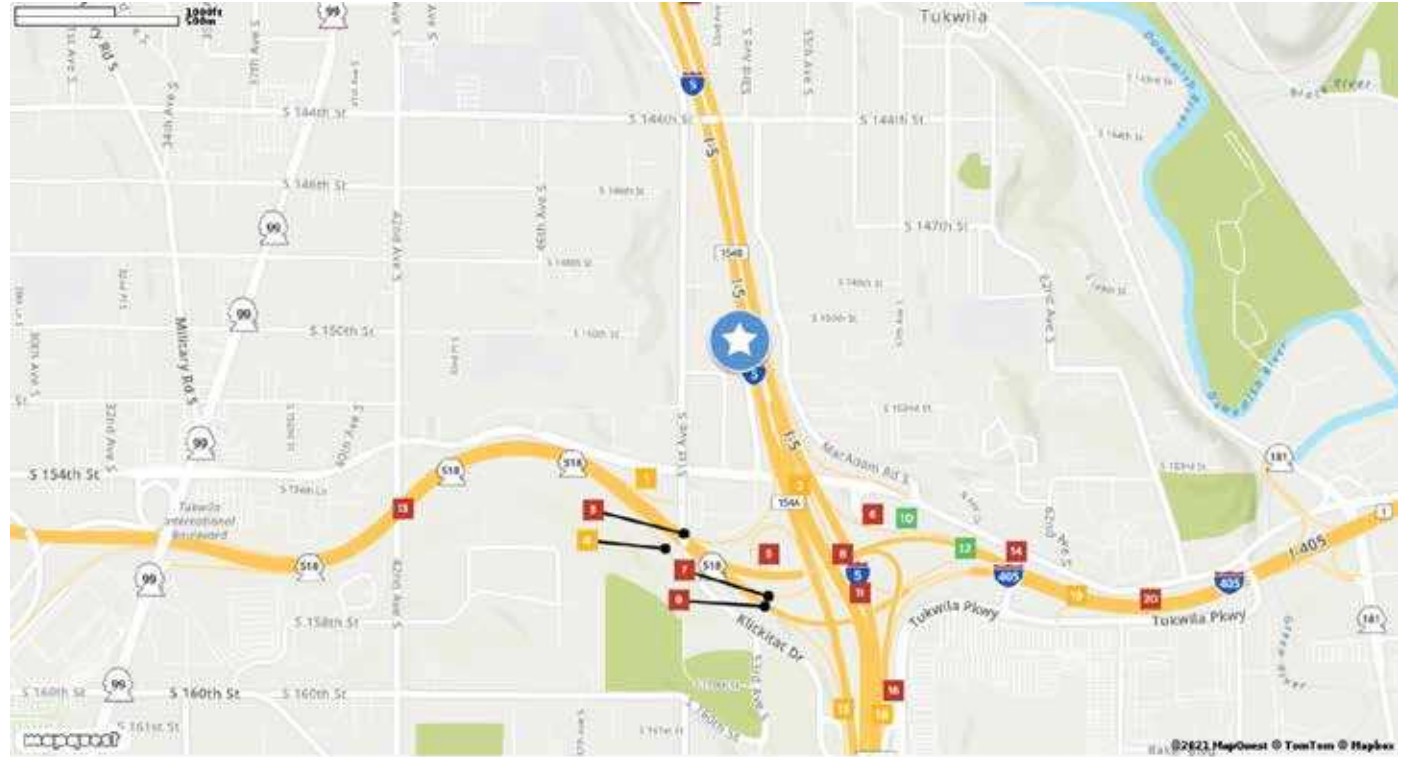


## PROPERTY SUMMARY / INVESTMENT OPPORTUNITY

City Closers Commercial Real Estate is proud to present the Pacific Northwest Regional Council of Carpenters Property now available for sale, offered at \$1,799,000. Outstanding owner user/developer opportunity. Many uses allowed including daycares, software development, professional offices and financial services, medical and dental labs and offices, health and athletic clubs, schools, libraries, museums and public art galleries and more. Rare, O Zoning for Office, this site has been cleared and has utilities to site and is situated on a medium topographic slope. Located on the busy corner of S. 151st Ave and 51st Ave S in Tukwila near the intersection of I-5 and I-405. The light rail and south center mall are a few blocks away and SeaTac International airport is nearby. A lot line adjustment has been completed to combine multiple parcels. Now comprised of 69,464 square feet with a previous site plan approval for a 36,000SF new office building.

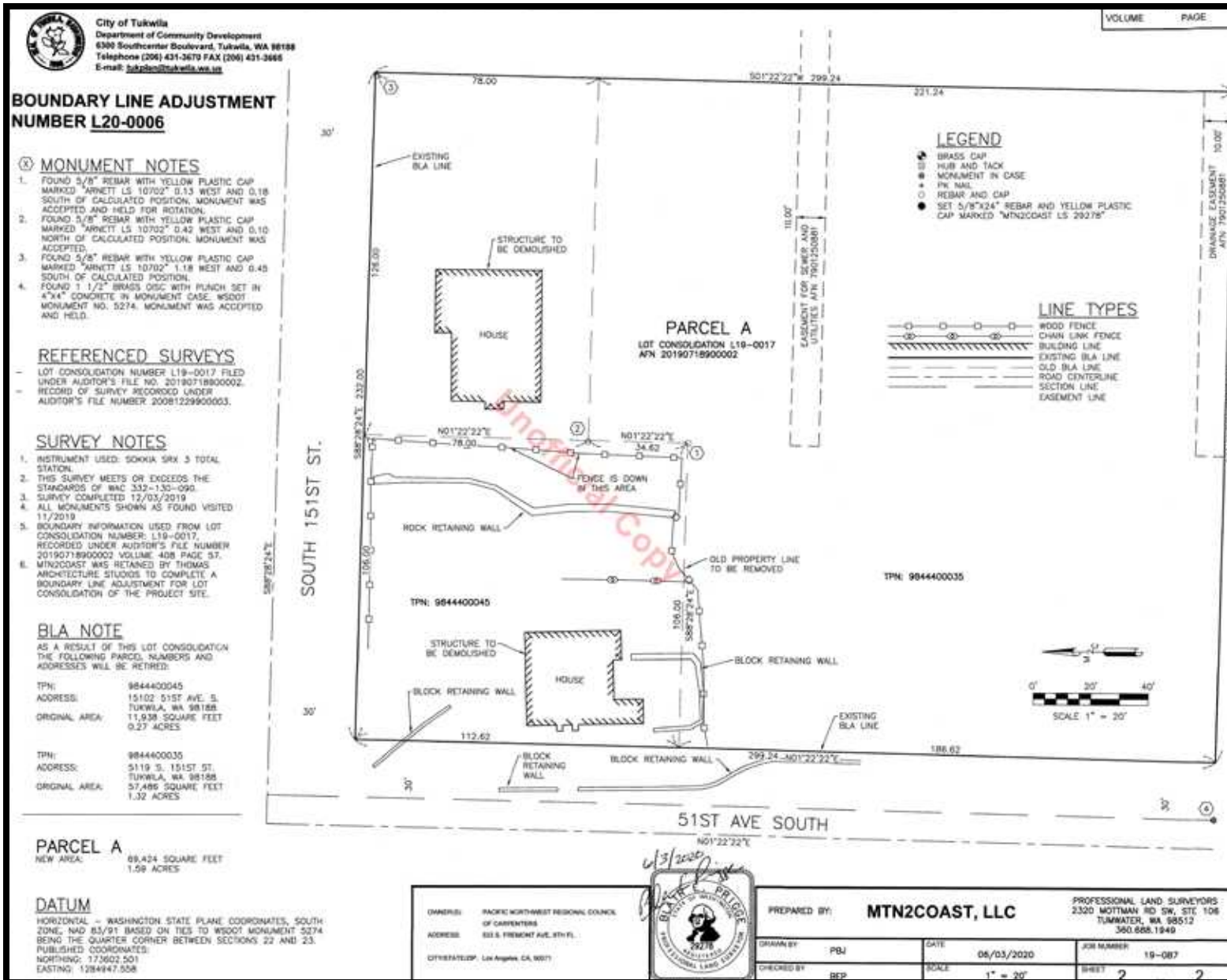
Take advantage of this close in location with fast access to all modern transit. Big box retailers and office complexes are nearby. The property has been cleared of structures and brush. Schedule your private tour today.

# TRAFFIC COUNTS



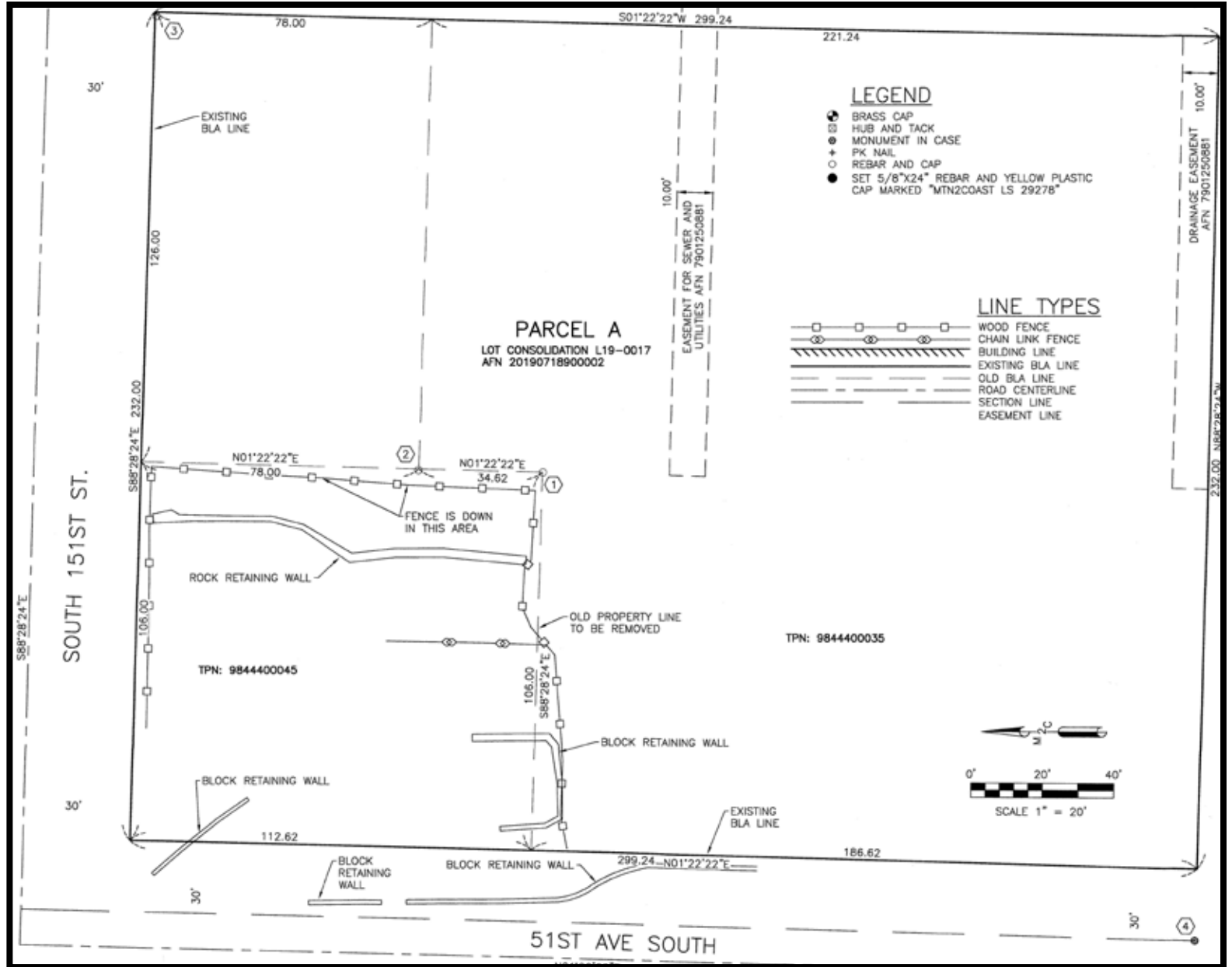
<b>51st Ave S</b> <span style="background-color: #f4a460; padding: 2px;">1</span>	<b>Southcenter Blvd</b> <span style="background-color: #f4a460; padding: 2px;">2</span>	<b>51st Ave S</b> <span style="background-color: #800000; color: white; padding: 2px;">3</span>	<b>51st Ave S</b> <span style="background-color: #f4a460; padding: 2px;">4</span>	<b>I-5</b> <span style="background-color: #800000; color: white; padding: 2px;">5</span>
2021 7,023 est	2021 7,166 est	2021 15,191 est	2021 6,437 est	2021 21,639 est
<b>I-5 / I-405</b> <span style="background-color: #800000; color: white; padding: 2px;">6</span>	<b>I-5</b> <span style="background-color: #800000; color: white; padding: 2px;">7</span>	<b>State Hwy 518</b> <span style="background-color: #800000; color: white; padding: 2px;">8</span>	<b>I-5</b> <span style="background-color: #800000; color: white; padding: 2px;">9</span>	<b>I-405 / I-5</b> <span style="background-color: #008000; padding: 2px;">10</span>
2021 28,863 est	2021 15,615 est	2021 14,130 est	2021 12,735 est	2021 4,358 est
<b>I-405</b> <span style="background-color: #800000; color: white; padding: 2px;">11</span>	<b>61st Ave S</b> <span style="background-color: #008000; padding: 2px;">12</span>	<b>51st Ave S</b> <span style="background-color: #800000; color: white; padding: 2px;">13</span>	<b>61st Ave S</b> <span style="background-color: #800000; color: white; padding: 2px;">14</span>	<b>I-5 / Klickitat Dr</b> <span style="background-color: #f4a460; padding: 2px;">15</span>
2021 36,084 est	2021 2,395 est	2021 129,652 est	2021 34,315 est	2021 7,228 est
<b>Klickitat Dr</b> <span style="background-color: #800000; color: white; padding: 2px;">16</span>	<b>S 146th St</b> <span style="background-color: #800000; color: white; padding: 2px;">17</span>	<b>Klickitat Dr</b> <span style="background-color: #f4a460; padding: 2px;">18</span>	<b>61st Ave S</b> <span style="background-color: #f4a460; padding: 2px;">19</span>	<b>State Hwy 167</b> <span style="background-color: #800000; color: white; padding: 2px;">20</span>
2021 37,490 est	2021 259,946 est	2021 7,198 est	2021 7,476 est	2021 121,183 est





Please note: All structures have since been removed from the property

# PLAT MAP



*Please note: All structures have since been removed from the property*



# AREA OVERVIEW

## Noteworthy Locations

- King County International Airport
- The Museum of Flight
- Kaiser Permanente of Washington
- SeaTac Airport
- Marriott Hotel
- Southcenter Shopping Mall
- Allied Mechanical Services, Inc.
- Normac, Inc.

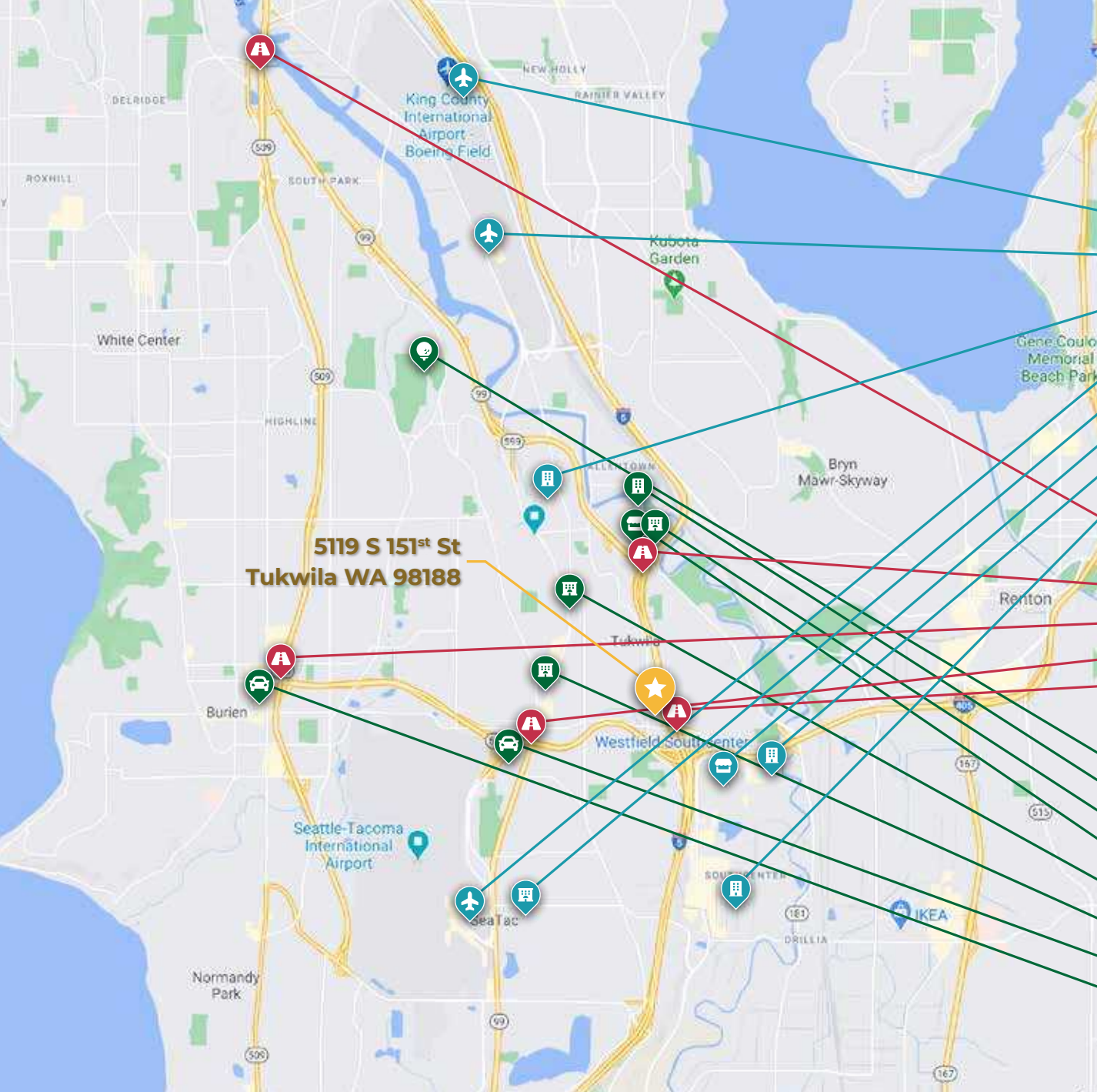
## Major Intersections

- 509 & 99
- 599 & I-5
- 509 & 518
- 518 & 99
- 518 & I-405

## Major Businesses Nearby

- Rainier Golf and Country Club
- BECU
- Days Inn
- Starbucks
- Econo Lodge SeaTac Airport North
- Travel Lodge
- Enterprise Rent-A-Car
- Burien Toyota

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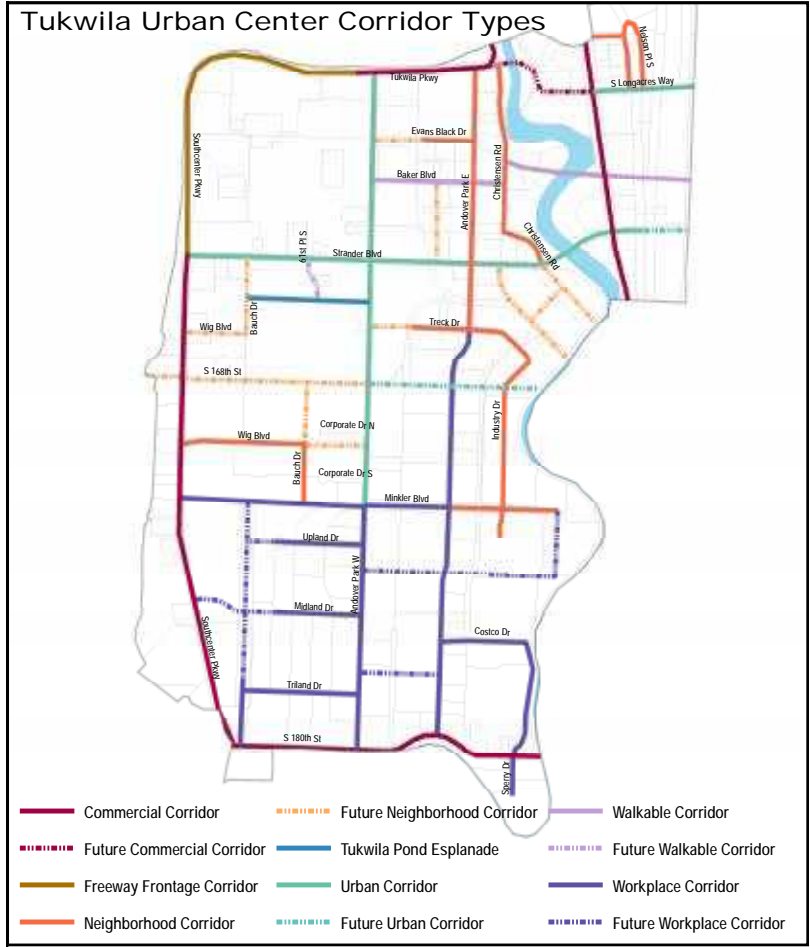
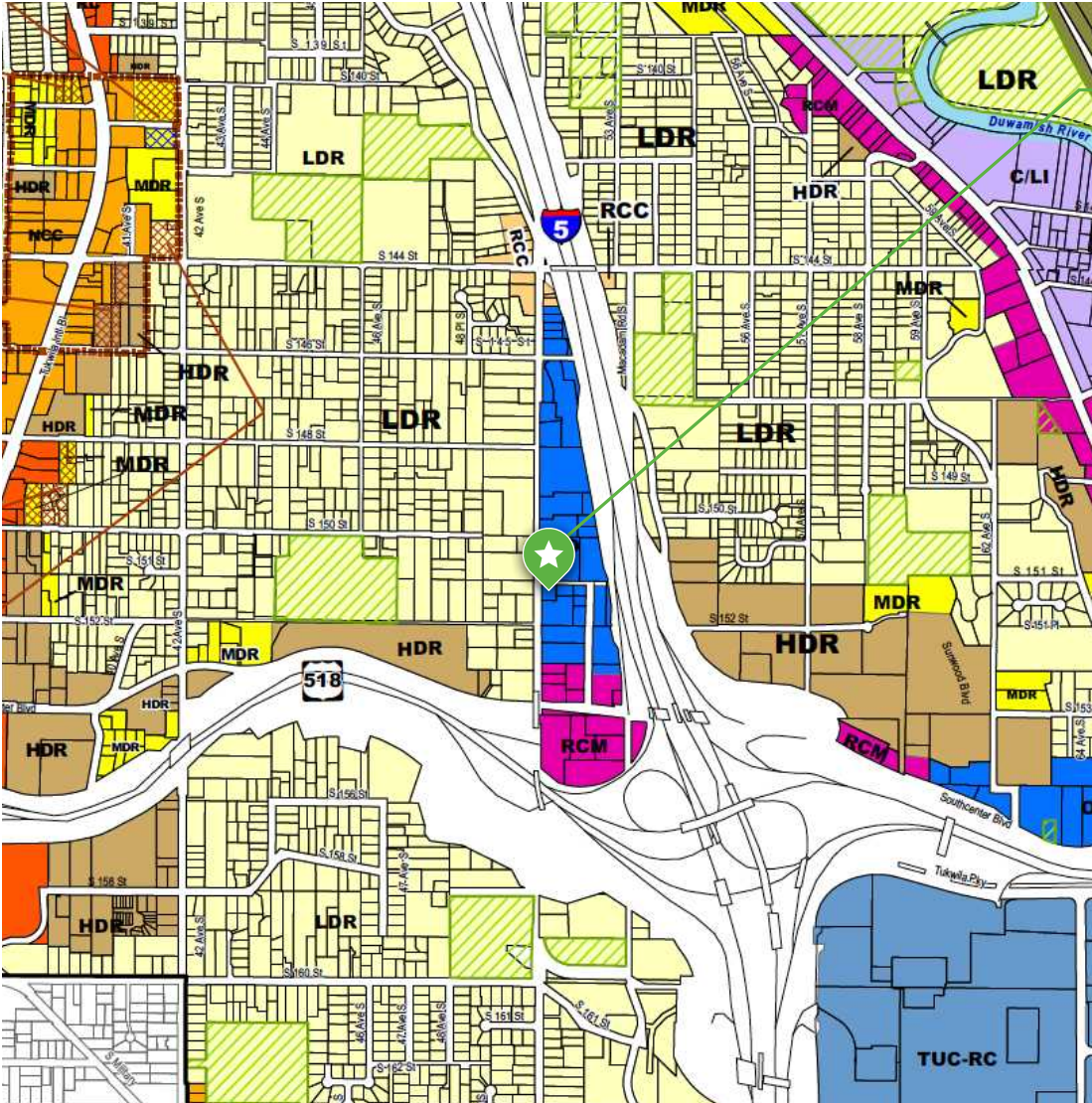




# TUKWILA ZONING

## Subject Property

5119 S 151<sup>st</sup> St, Tukwila WA 98188



- |  |                                |                                    |                                   |  |   |
|--|--------------------------------|------------------------------------|-----------------------------------|--|---|
| Public Recreation Overlay                | LDR Low Density Residential    | O Office                           | RCM Regional Commercial Mixed Use | MIC/L Manufacturing Industrial Center/Light Industrial | TUC-RC Tukwila Urban Center - Regional Center               |
| Manufacturing/Industrial Center Boundary | MDR Medium Density Residential | RCC Residential Commercial Center  | CLI Commercial Light Industrial   | MIC/H Manufacturing Industrial Center/Heavy Industrial | TUC-CC Tukwila Urban Center - Commercial Corridor           |
| TIB Urban Renewal Overlay District       | HDR High Density Residential   | NCC Neighborhood Commercial Center | LI Light Industrial               | TVS Tukwila Valley South                               | TUC-WP Tukwila Urban Center - Workplace                     |
| Tukwila South Overlay District           | MUO Mixed Use Office           | RC Regional Commercial             | HI Heavy Industrial               | TUC-P Tukwila Urban Center - Pond                      | TUC-TOD Tukwila Urban Center - Transit Oriented Development |
| Tukwila City Limits                      |                                |                                    |                                   |  |   |
| Potential Annexation Areas               |                                |                                    |                                   |  |   |

# TUKWILA ZONING SUMMARY CHART

There are many outright, permitted uses for O Zoning. These are a few of the highlights. | P = Permitted

NCC

Shelter	P
Studios – Art, photography, music, voice and dance	P
Telephone exchanges	P
Wireless Telecommunications Facilities	P
Restaurants including cocktail lounges in conjunction with a restaurant	P
Retail sales as part of a planned mixed-use development where at least 50% of gross leasable floor area development is for office use; no auto-oriented retail sales (e.g., drive-ins, service stations)	P
Schools and studios for education or self-improvement	P
Medical and dental laboratories	P
Offices including: medical, dental, government (excluding fire and police stations), professional, administrative, business, e.g. travel, real estate and commercial	P
Parks, trails, picnic areas and playgrounds (public), but not including amusement parks, golf courses, or commercial recreation	P
Recreation facilities (commercial – indoor) – athletic or health clubs	P
Electric Vehicle Charing Station – Level 1 and Level 2	P
Financial, banking, mortgage, other services	P
Fraternal organizations	P
Laundries; self-serve, dry cleaning, tailor, dyeing	P
Libraries, museums, or art galleries (public)	P
Computer software development and similar uses	P
Daycare Centers (not home-based)	P
Beauty or barber Shops	P
Bicycle repair shops	P
Brew Pubs	P





# THE PROPERTY

5119 South 151<sup>st</sup> Street, Tukwila, WA 98188

## PROPERTY HIGHLIGHTS

Price	\$1,799,000
Price PSF	\$25.89/SF
Land Size	69,464 SF
Zoning	Offices, Daycare, Medical, Financial Services, Schools, and many more – please see page 11 for a comprehensive list
Parcel Number	9844400035



## PROPERTY QUALITIES

### Taxes for 2021

\$10,965

### Utilities to site

### Condition

Property cleared, fenced and old structures have been demolished

### Location

Tukwila I-5 & I-405 Interchange, 1 block to South Center Blvd). On the corner of busy 51st Ave S. and S. 151st Ave.

### Survey & Site Plan Available

### Zoning

Rare, O Zoning (Office)

### Planning

Previously approved 36,000SF New Office Building

### Amenities

SouthCenter Mall, Crystal Springs Park, Most major Big Box Retailers

### Transportation

Close to Seattle-Tacoma International Airport & near Light Rail & Bus.







## SALES COMPARABLES

	<b>Subject Property</b>	<b>Comparable 1</b>	<b>Comparable 2</b>	<b>Comparable 3</b>	<b>Comparable 4</b>
<b>Commercial Sites</b>	<b>5119 S 151<sup>st</sup> St Tukwila, WA 98188</b>	<b>20406 International Blvd SeaTac, WA 98198</b>	<b>11890 Renton Ave S Seattle, WA 98178</b>	<b>14300 Interurban Ave S Tukwila, WA 98168</b>	<b>21610 84th Ave S Kent, WA 98032</b>
<b>Selling Price</b>	–	\$3,200,000	\$2,400,000	\$2,900,000	\$750,000
<b>Price Per SF Lot</b>	–	\$39.28	\$41.12	\$32.80	\$24.60
<b>Date Sold</b>	–	2/17/2021	6/25/2021	6/2/2020	1/22/2020
<b>Square Feet Lot</b>	69,464	81,467	58,208	88,321	30,510
<b>Use/Zoning</b>	O	CBC	CBPSO	C/LI	M1-C
<b>Site Challenges</b>	Medium Slope	Non Corner Location, Odd Lot configuration	Next to gas station	Tear Down Structures on Site, Uncleared.	Uncleared Lot
<b>Extra Features</b>	Corner Lot, High Traffic, Near Freeway Exit, Utilities to Site, Site Plan Approval for 36,000SF Office	High Traffic, Frontage on International Blvd.	Frontage on busy Renton Ave S., Level Lot	Frontage on Interur- ban Ave S., Corner lot, Dual Ingress/Egress.	Frontage on 84th Ave S., Level lot, built up area
<b>Location</b>	Tukwila Interchange	99 & I-5	Bryn Mawr-Skyway	Tukwila Interchange	181 and 167 Kent









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